

**Greater Peoria Mass Transit District (GPMTD/CityLink)
Transit Center Renovation**

Project Number: 0180459.04

Addendum 03

Addendum Issue Date: June 21, 2019

Project Issue Date: May 24, 2019

ADDENDUM 03

Containing: 1 page , 1 Drawing

This addendum amends the drawings and specifications of the above referenced project and is hereby incorporated into the contract documents as part thereof.

DRAWING SET (Bid Set)

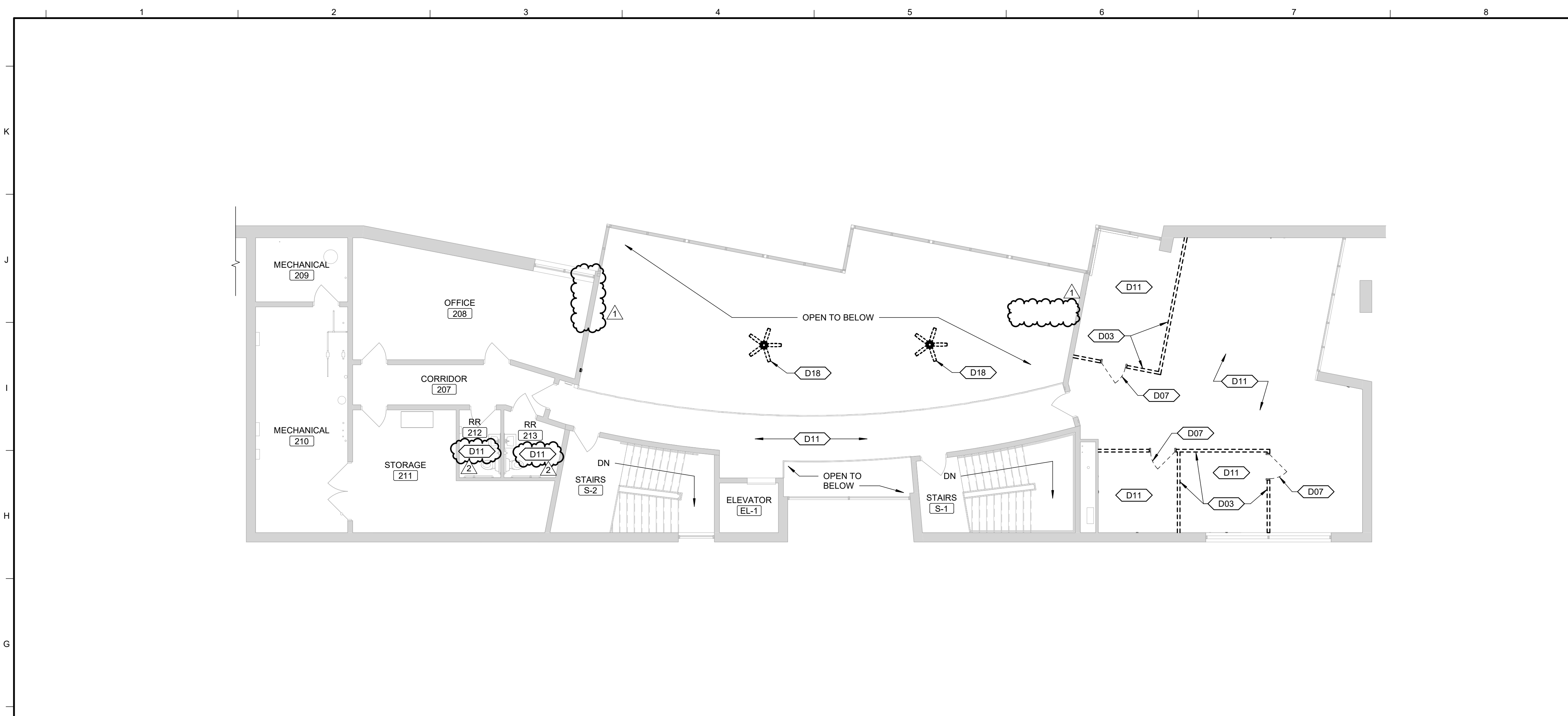
Sheet AD1.1 DEMOLITION PLAN

1. ADD keynote #11 to the existing security office on the first floor and Restrooms 112 & 113 on the second floor. See attached AD1.1.

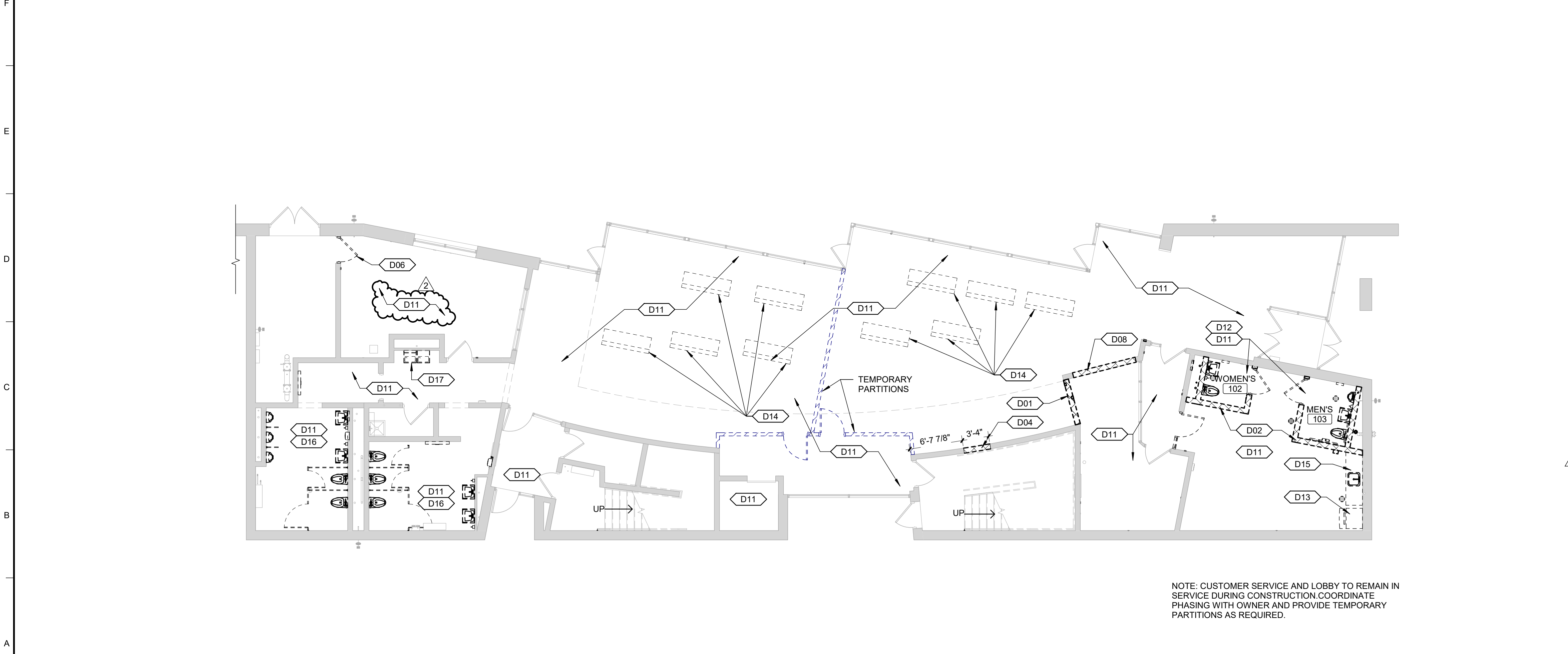
Sheet A8.1 INTERIOR ELEVATIONS AND ENLARGED PLANS

1. ADD the following comment to the TOILET ACCESSORY SCHEDULE, Item T13 – ELECTRIC HAND DRYER:
 - ADA COMPLIANT. PROVIDE WITH RECESS KIT OR SLIM PROFILE
2. Hand dryers are to be mounted at manufacturer's recommended height to meet ADA requirements. Refer to electrical drawings for locations.
3. Demolition of CMU walls to accommodate a recess kit shall be part of the General Contractor's scope of work and not part of the Demolition Subcontractor's.

ATTACHMENTS: AD1.1



2 SECOND FLOOR DEMOLITION FLOOR PLAN
 Scale: 1/8" = 1'-0"



1 FIRST FLOOR DEMOLITION FLOOR PLAN
 Scale: 1/8" = 1'-0"

NOTE: CUSTOMER SERVICE AND LOBBY TO REMAIN IN SERVICE DURING CONSTRUCTION. COORDINATE PHASING WITH OWNER AND PROVIDE TEMPORARY PARTITIONS AS REQUIRED.

DEMOLITION GENERAL NOTES

- A. EXISTING CONDITIONS INFORMATION SHOWN WITHIN THE PROJECT AREA IS BASED ON FIELD OBSERVATION AND EXISTING DRAWING DOCUMENTATION. EXISTING CONDITION INFORMATION SHOWN OUTSIDE THE PROJECT AREA IS PROVIDED FOR REFERENCE BUT HAS NOT BEEN FIELD VERIFIED.
- B. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION RELATED CONDITIONS PRIOR TO STARTING DEMOLITION OR NEW CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- C. EXISTING CONSTRUCTION SHOWN DASHED IS TO BE DEMOLISHED - COORDINATE WITH NEW CONSTRUCTION.
- D. CONTRACTOR SHALL MAINTAIN THE BUILDING IN A WEATHERPROOF CONDITION AT ALL TIMES.
- E. PROJECTS SHALL REMAIN IN COMPLIANCE WITH ALL ASPECTS OF ALL GOVERNING CODES AND ORDINANCES DURING THE COURSE OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, EXISTING FIRE ALARM SYSTEM(S) SMOKE/FIRE DETECTION SYSTEM(S), SPRINKLER SYSTEM(S).
- F. ALL ITEMS INDICATED TO BE DEMOLISHED SHALL BE SO REMOVED AS TO FULLY ALLOW FOR THE PROPER FURNISHING AND INSTALLATION OF ALL SCHEDULED NEW WORK. THIS SHALL INCLUDE THE DEMOLITION OF ADJACENT ITEMS, ACCESSORIES, AND APPURTENANCES AS NECESSARY.
- G. DEMOLITION DRAWINGS ILLUSTRATE MAJOR ITEMS TO BE REMOVED. CONTRACTOR SHALL COORDINATE THESE DRAWINGS WITH NEW WORK DRAWINGS AND SHALL BE RESPONSIBLE FOR OTHER ITEMS REQUIRED TO BE DEMOLISHED TO ACCOMMODATE NEW WORK.
- H. THE OWNER WILL RETAIN ALL SALVAGE THAT IS OF VALUE AS DESIGNATED BY THE OWNER'S REPRESENTATIVE. THE OWNER WILL DIRECT THE CONTRACTOR AS TO THE LOCATION OF STORAGE AREA FOR VARIOUS ITEMS. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING FROM THE BUILDING AND THE CONSTRUCTION SITE ALL CONSTRUCTION DEBRIS AND/OR ITEMS NOT RETAINED BY THE OWNER'S REPRESENTATIVE.
- I. THE CONTRACTOR IS RESPONSIBLE FOR STORAGE AND PROTECTION OF ALL SALVAGE ITEMS WHICH WILL BE REUSED IN THIS PROJECT.
- J. TEMPORARY BARRICADES AS PERTAINING TO CONTRACTOR'S ACTIVITIES SHALL BE INSTALLED TO PREVENT POSSIBLE INJURY TO PERSONS IN AND ROUND DEMOLITION AND CONSTRUCTION AREAS IN ACCORDANCE WITH OSHA REQUIREMENTS. COORDINATE WITH OWNER.
- K. EXISTING ITEMS, EQUIPMENT, PLUMBING FIXTURES, ETC. TO REMAIN IN PLACE SHALL BE PROTECTED FROM DIRT AND DAMAGE DURING DEMOLITION AND CONSTRUCTION.
- L. PROTECT ALL FINISH ITEMS TO REMAIN FROM DAMAGE DURING CONSTRUCTION AND DEMOLITION.
- M. PRIOR TO DEMOLITION, ENSURE THE STABILITY OF ANY WALLS TO REMAIN.
- N. ALL AREAS TO BE DEMOLISHED OR DISTURBED BY ANY DEMOLITION ARE TO BE PATCHED AND PAINTED (OR PREPARED FOR OTHER SCHEDULED FINISH). IF PAINTING IS REQUIRED, ENTIRE WALL SHALL RECEIVE PAINT TO AVOID MISMATCH OF COLOR.
- O. ALL OPENINGS AND VOIDS LEFT BY THE REMOVAL OF EXISTING CONSTRUCTION, EQUIPMENT, PIPING, DUCTS, ETC. SHALL BE PROPERLY PATCHED AND CLOSED OFF TO MAINTAIN PROPER FIRE RATING IN AFFECTED WALL, FLOOR, OR ROOF. PREPARE PATCHED AREAS TO RECEIVE NEW FINISHES AS SCHEDULES (OR MATCH EXISTING FINISHES IF NOT OTHERWISE IDENTIFIED).
- P. WHEN PATCH OF EXISTING FLOOR IS REQUIRED, SLOPING OR RAMPING IN EXCESS OF CONTRACT TOLERANCES WILL NOT BE ALLOWED (1/8" PER 10 FEET MAXIMUM).
- Q. UPON REMOVAL OF TEMPORARY PARTITIONS, CONTRACTOR IS RESPONSIBLE FOR PATCHING TO MATCH EXISTING ADJACENT CONSTRUCTION.
- R. AT CONSTRUCTION ACCESS, CONTRACTOR TO PROVIDE LABOR AND MATERIALS TO REPAIR ALL DISTURBED ELEMENTS.
- S. WHERE A RATING HAS BEEN GIVEN TO AN EXISTING WALL, ALL PENETRATIONS (EXISTING OR NEW) SHALL BE SEALED AND PROPERLY FIREPROOFED PER THAT RATING REQUIREMENT.
- T. WALLS TO BE REMOVED SHALL BE FROM FLOOR TO STRUCTURE ABOVE UNLESS OTHERWISE INDICATED AND SHALL INCLUDE ALL MECHANICAL, ELECTRICAL, ETC. PREPARE ALL DISTURBED AREAS FOR NEW CONSTRUCTION.
- U. WHERE REMOVAL OF A FINISHED CEILING IS REQUIRED, REMOVE ONLY WHAT IS NECESSARY TO COMPLETE CONSTRUCTION. ALL ACOUSTICAL CEILINGS TO BE REMOVED SHALL INCLUDE RELATED SUPPORT SYSTEMS, CEILING TILES, LIGHT FIXTURES, GRILLES, DIFFUSERS, EXIT SIGNS, AND OTHER ELECTRICAL OR COMMUNICATION DEVICES.
- V. WHERE REMOVAL OF FLOOR COVERING AND/OR RESILIENT BASE IS REQUIRED, REMOVE ONLY WHAT IS NECESSARY TO COMPLETE DEMOLITION. DEMOLITION INCLUDES REMOVAL OF ADHESIVES, GROUTING BEDS, ETC. AND REQUIRES REMAINING SURFACES TO BE PREPPED FOR NEW CONSTRUCTION.
- W. REMOVAL OF CERAMIC TILE AND GROUT BEDS FROM EXISTING WALLS AND FLOOR SHALL INCLUDE PREPARATION FOR NEW CONSTRUCTION.
- X. REMOVAL OF EXISTING PLUMBING FIXTURES TO INCLUDE PIPING, WASTE LINES, ETC. LINES ARE TO BE CAPPED AS REQUIRED. SEE PLUMBING DRAWINGS.
- Y. REMOVAL OF EXISTING HVAC TO INCLUDE DUCTWORK, HANGERS, GRILLES, DIFFUSERS, ETC. SEE MECHANICAL DRAWINGS.
- Z. REMOVAL OF EXISTING ELECTRICAL SYSTEMS TO INCLUDE CONDUIT, BOXES, WIRE, CABLE, SUPPORTS, WIRING DEVICES, SAFETY SWITCHES, FIRE ALARM EQUIPMENT, SPEAKERS, TELEPHONE OUTLETS AND LIGHT FIXTURES. SEE ELECTRICAL DRAWINGS.
- AA. WHILE IT IS NOT EXPECTED, IF HAZARDOUS MATERIALS, SUCH AS ASBESTOS AND/OR LEAD PAINT, IS ENCOUNTERED ON THE PROJECT SITE, THE OWNER SHALL ENGAGE A TESTING COMPANY TO IDENTIFY AREAS AND PROVIDE APPROPRIATE ABATEMENT. DEMOLITION CONTRACTOR SHALL COORDINATE ALL ACTIVITIES WITH ABATEMENT CONTRACTOR.

DEMOLITION KEYNOTES <D##>

D18	REMOVE EXISTING CEILING FAN
D01	REMOVE EXISTING STOREFRONT AND CMU BLOCK WALL TO EXTENTS SHOWN.
D02	REMOVE EXISTING CMU BLOCK WALL.
D03	REMOVE EXISTING CUBICLE PARTITIONS, SALVAGE AND RETURN TO OWNER.
D04	MASON SUBCONTRACTOR SAWCUT EXISTING CMU WALL AS REQUIRED FOR NEW DOOR.
D18	REMOVE EXISTING CEILING FAN
D06	REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY.
D07	REMOVE EXISTING CUBICLE DOOR, SALVAGE AND RETURN TO OWNER.
D08	REMOVE EXISTING WINDOW, SAWCUT EXISTING CMU WALL AS REQUIRED FOR NEW WINDOW.
D09	SAWCUT EXISTING CMU WALL AS REQUIRED FOR NEW DOOR.
D10	REMOVE EXISTING ACT CEILING, EXISTING LIGHTS AND DIFFUSERS IN THEIR ENTIRETY.
D11	REMOVE EXISTING FLOORING AND ALL ASSOCIATED ACCESSORIES, ADHESIVES, MORTAR BEDS AND TRIMS. PREPARE SURFACE TO RECEIVE NEW FLOORING.
D12	REMOVE PLUMBING FIXTURES, PARTITIONS, FLOORING, SURFACE MOUNTED AND RECESSED TOILET ACCESSORIES, WALL AND CEILING FINISHES. PATCH, REPAIR, AND PREP WALLS AND FLOORING TO RECEIVE NEW FINISH MATERIALS.
D13	DISCONNECT EXISTING ICE MACHINE AND SAVE FOR OWNER.
D14	REMOVE EXISTING BENCH, AND SAVE FOR RELOCATION.
D15	REMOVE EXISTING COUNTERTOP, UPPER AND BASE CABINETS, AND SINK.
D16	REMOVE PLUMBING FIXTURES, PARTITIONS, FLOORING, SURFACE MOUNTED AND RECESSED TOILET ACCESSORIES, WALL AND CEILING FINISHES. PATCH, REPAIR, AND PREP WALLS AND FLOORING TO RECEIVE NEW FINISH MATERIALS.
D17	REMOVE EXISTING DRINKING FOUNTAIN.

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ISSUE:

#	DATE	DESCRIPTION
1	06/07/2019	Addendum 01
2	06/21/2019	Addendum 03

BID SET
 05/28/2019

PROJECT:
 Greater Peoria Mass Transit District

CityLink Transit Center Renovation

407 SW ADAMS STREET
 PEORIA, IL 61602

DATE: 05/28/2019

DESIGNED: DRD

DRAWN: AKT/TAW

REVIEWED: BSW

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:

AD1.1

PROJECT NO.: 0180459.04

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